

Minimum Energy Efficiency Standards For Private Rental Sector

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Overview

- The MEES regulations form part of the Energy Efficiency (Private Rented Property) (England and Wales) Regulations 2015 and are a requirement of the Energy Act 2011.
- apply to certain privately rented dwellings let on a tenancy (i.e. not a license)
- until 31st March 2019, in force on the basis that improvements made to the thermal efficiency of the dwelling would not incur upfront costs to the landlord.
- revoked 2018/19, from 1st April 2019, contribute towards the cost of energy efficiency measures, subject to a spending cap, up to £3,500 (inclusive of VAT)
- enforcement started April 2020

Dwellings the MEES regulations apply to.

Any domestic privately rented property which is:

- legally required to have an EPC
- let on a relevant type of tenancy

Where these two conditions are met the landlord must ensure that the minimum standard of an EPC band E is met or exceeded or there is an exemption.

It is proposed that this will increase to a rating of C69 or above in December 2028 for all tenancies to be

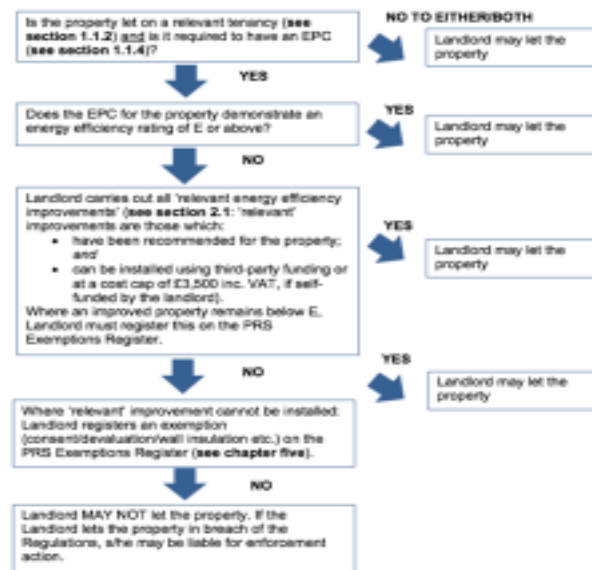
Minimum Level of Energy Efficiency Provisions Flow Chart

Minimum Level of Energy Efficiency Provisions Flow Chart

Minimum Standards Regulations Compliance Decision Process

Figure 1 below sets out the key decision points a landlord will need to consider to help them comply with their responsibilities under the Regulations.

Figure 1- decision tree for minimum level of energy efficiency process



Enforcement

- By Local Authorities, as either Environmental Health or Trading Standards.
- Where an EPC is legally required for a property, Trading Standards are responsible for enforcing the regulations requiring an EPC to be made available.

Fines & Penalties

- letting a sub-standard property for less than 3 months - up to £2,000
- letting a sub-standard property for 3 months or more - up to £4,000
- registering false or misleading information on the PRS Exemptions Register - up to £1,000
- failing to comply with a compliance notice - up to £2,000

Total amount of financial penalty per property (and per breach) cannot, under current legislation, be more than £5,000.

The penalties may also be accompanied by publication of the specific breach on the public exemptions register.

Improvement tips

Quick low cost (<£100) fixes: -

- Low energy lighting
- Higher cost secondary heating
- Remove open fires/gas live fuel effect
- Block up open fireplaces
- Draught proof windows and doors
- Hot water cylinder insulation
- Heated corridor
- Loft insulation

Improvement tips

Common errors

- Removing night storage heater
- Installing panel heaters without timer or thermostat
- Changing from dual tariff when immersion heater is present.
- Allowing roof space to be used for storage
- Boarding roof space

Any Questions?

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