



raising standards in property preservation

Peter Cox Ltd

An Introduction to our business

Part of
**Rentokil
Initial**

A Local Property Preservation Service, Delivered Nationally

- **Long trading history**, established in 1951, part of Rentokil Initial PLC since January 2015
- Raising standards in **domestic, commercial and historical** buildings
- Branches across England, Wales and Scotland with flat organisations - this means **management close to the front line**
- Area Operations Managers, fully responsible for all aspects of service in their area
- Supported by central commercial, technical & marketing functions

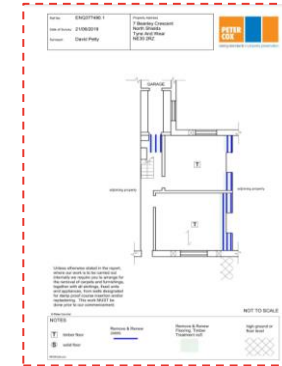
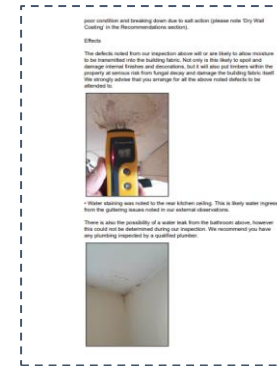


Our Accreditations as Industry Leaders



Local Expert Consultation

- **A full national coverage** with more than 150 local technicians and 70 local and area surveyors, CSRT/CSTDB & CSSW trained
- **Detailed reports** with clear recommendations
- **Fast and reliable response** - the majority of reports will be received within 72 hours
- **Guarantees** - We have been issuing long term guarantees for many years. Up to 20 years for some of our service
- **Rentokil Initial CORE Customer Service training**, which has been independently accredited by the Institute of Customer Service with its TrainingMark.



Our Customers

- 24,000 domestic and residential properties surveyed in 2021, along with an additional 1500 Social Housing surveys
- We also work with Building Contractors, Architects & Surveyors
- Prestigious buildings such as Windsor Castle, Kensington Palace and Stanford Hall
- Historic and listed buildings such as Pendower Hall, Newcastle, Leigh Town Hall and Morpeth Railway Station
- Recently worked on the Valley Station signal box in Anglesey



Delivering Expertise

Our technical team offer a range of Continuing Professional Development (CPD) seminars, helping professionals attain the 20 hours of CPD training towards their professional status.

Online webinars and face to face seminars are available.

These are a good opportunity to discuss current practice and review new developments in the industry. Conducted in your office at a time suitable to you.

Seminars on:

- Damp proofing
- Condensation
- Basement and Structural waterproofing to BS8102
- Masonry stabilisation and structural reinforcement
- Woodworm, fungal decay and resin repair
- Bird control



THE CPD STANDARDS OFFICE
CPD PROVIDER: 21648
2021-2023
www.cpdstandards.com





raising standards in property preservation

Why use Peter Cox?

Preserving and protecting the UK's residential, commercial and historic buildings, since 1951

Part of
**Rentokil
Initial**

The Experts in What We Do

Damp & Condensation Treatments



- Rising Damp
- Penetrating Damp
- Condensation

Timber Treatments



- Woodworm
- Dry Rot
- Wet Rot
- Epoxy Resin Repairs

Specialist Services



- Structural Waterproofing
- Structural Reinforcement & stabilisation
- Pest Proofing

What Causes Damp?

Expert Diagnosis is Key



- Leaking gutters
- Blocked air bricks
- Missing tiles
- Damaged or failed damp proof course

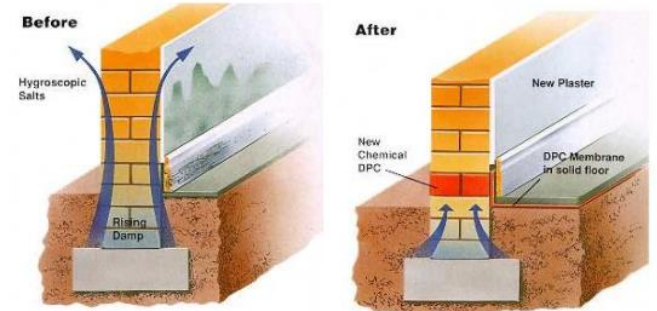


- Leaking pipes
- Trapped floodwater
- Condensation

Rising Damp

Evidenced by damp stains up to 1 metre high, salty deposits, flaky peeling paint or wallpaper and decaying skirting boards or floorboards.

- When the problem is rising damp, we can install a chemical damp proof course
- Then the affected areas are re-plastered



Penetrating Damp

Rainwater penetration is usually caused by wind driven rain hitting a solid masonry wall and soaking through.

Thermotek Solution - external masonry cream

- Applied with brush or roller
- Once applied, Thermotek soaks into the wall

Lateral penetrating damp is caused when the external ground level against a wall is above the internal floor level.

This can be solved with cementitious render or through cavity drain membrane systems.



Condensation

- We offer a comprehensive range of condensation solutions from whole house ventilation (PIV) to internal anti-condensation paint
- We are able to offer lifestyle advice, and condensation leaflets for tenants



The English Housing Ombudsman Service report October 2021

- The report of the English Housing Ombudsman into issues with Damp and Mould further emphasised the landlords responsibilities for addressing these issues in a timely manner in collaboration with the tenant.
- They investigated 142 Landlords and 1595 complaints from residents with 56% of cases investigated resulted in findings of maladministration and 501 orders made to put something right.
- £123,094.57 in compensation across 222 cases, with sums over £1,000 in 21 cases.
- The Housing Ombudsman came up with 26 recommendations for landlords, including “The word ‘lifestyle’, as a consequence of limited choices, should be banished”, “Landlords should identify where an independent, mutually agreed and suitably qualified surveyor should be used” and “Landlords should take steps to identify and resolve any skills gaps they may have, ensuring their staff and contractors have appropriate expertise to properly diagnose and respond to reports of damp and mould”.

Housing
Ombudsman Service

Spotlight on:
Damp and mould

It's not lifestyle

October 2021

Condensation Diagnostic Surveys

- We can provide damp surveys to identify the causes of damp or condensation
- Condensation in multiple occupancy premises is an increasing issue for private landlords and housing associations
- As well as the Housing H&S Rating System, in 2018 the Homes (Fitness for Human Habitations) Act came into force. As a landlord / Housing Association our diagnostic report can help to show you have fulfilled your obligations
- There may be associated problems with dust mite allergens, particularly for asthmatics



Damp and Condensation Diagnostic Surveys



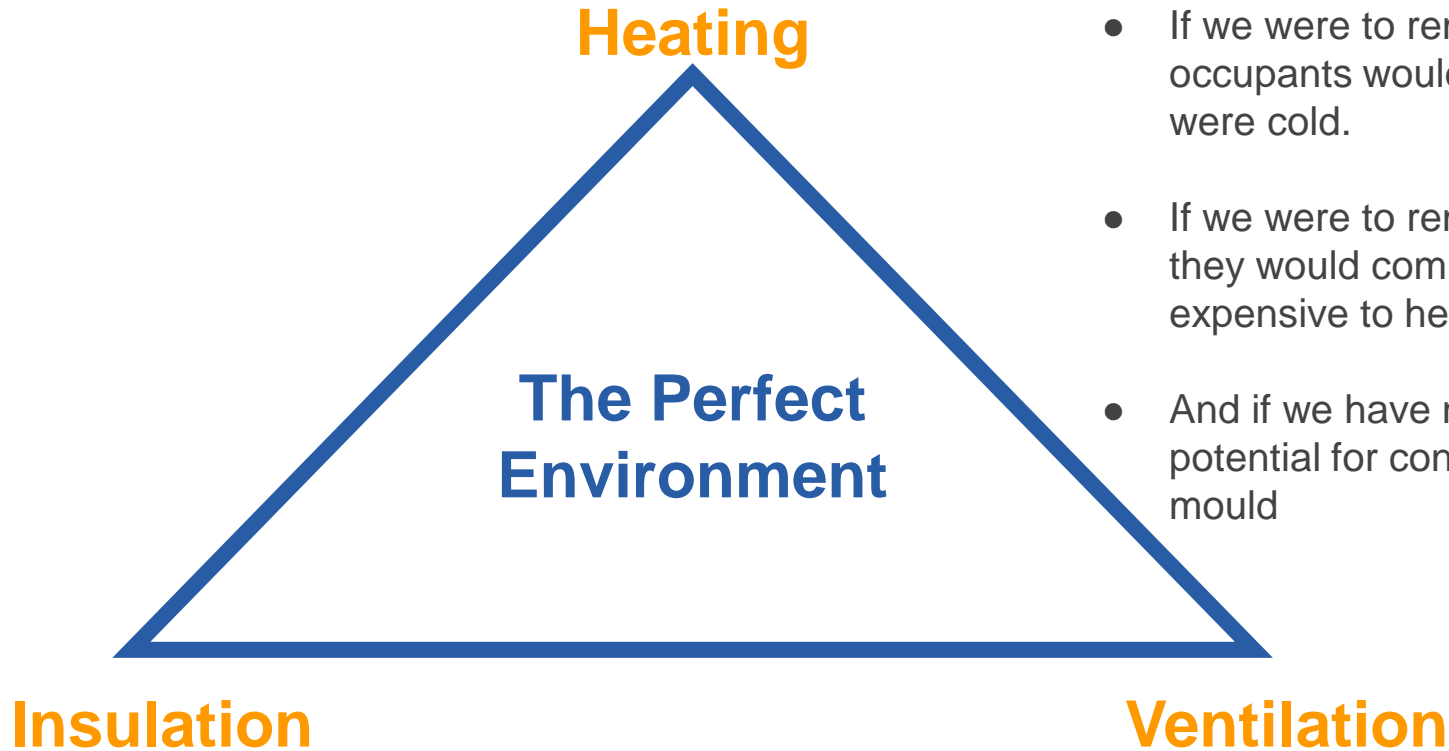
Calibrated for timber only



19mm (3/4 inch) depth, using RF mode



Condensation and Indoor Air Balance



- If we were to remove the heating, occupants would complain they were cold.
- If we were to remove the insulation, they would complain that it is too expensive to heat the property.
- And if we have no ventilation – potential for condensation and mould

Condensation

- 1 in 5 Properties in the UK will suffer Condensation at some point.
- Water droplets form on a cold surface at dew point. This is most pronounced from October to April.

Condensation is caused by:

- Lack of ventilation, heating or insulation.
- Moisture produced by washing, bathing and drying clothes inside, even large dogs and fish tanks.
- Changes in a property such as fitting double glazing or insulating the walls without providing adequate ventilation.
- The **'lifestyle'** of the householder (but not accepted by the English Housing Ombudsman's Report) as the property should be able to cope with moisture input.



Condensation

- An average household produces 14 litres (24 pints) of water per day (98 litres/21 gallons a week).
- Once surfaces reach 70-80%RH, mould spores can germinate.
- The World Health Organisation (WHO) Guidelines suggest indoor air quality in living areas is best around 18-20°C, 50-60% RH and with a minimum 10litre/second ventilation rate.
- Moist stale air may contain mould spores, dust mite allergens and volatile organic compounds (from cleaning products, hair spray, deodorant etc.), which can contribute to Asthma symptoms.
- Mould in itself is not normally the problem, unless the person is immuno-suppressed, very young, elderly or has a specific allergy.



Causes - Lack of Circulation



Causes - Lack of Circulation



Causes - Cold Bridging



Causes - Cold Bridging





raising standards in property preservation

What can we offer to help you with this issue?

Preserving and protecting the UK's residential, commercial and historic buildings, since 1951

Part of
**Rentokil
Initial**

Kitchen and Bathroom Extractor Fans



- Cost of installation and testing is extra.
- Most use timers and do not have a humidity sensor.

Positive Input Ventilation (PIVs)

- Cost of installation and testing is extra.
- Roof or wall mounted versions available
- Designed to improve ventilation throughout property



Passive Vents



- Popular with builders as easy to fit.
- Several required and low through airflow as require pressure difference between inside and outside.
- Cannot react rapidly to a moisture event.
- Building Regulations still require mechanical fan in the Kitchen/bathroom.

Thermal Plastering

- Anti-condensation thermal plastering system for solid walls.
- This system can help reduce energy bills by improving the thermal efficiency of the property and by preventing cold spots where condensation issues can occur.
- This system allows walls to be insulated without costly alterations to skirting boards, windows, covings and radiators.



[Click here to access Thermal Plastering datasheet](#)

Condensation Control - Thermal Render

- Although only 15mm thick, the system reduces the heat loss through 9 inch brick walls by up to 40% and meets Building Regulations for use where it is not functionally or technically possible to install thicker insulation systems. Class O Fire rated.
- The system does not require the installation of a vapour barrier. However, relative humidity and air vapour pressure should ideally be controlled inside the property through appropriate ventilation.
- The system can help reduce energy bills by improving the thermal efficiency of the property and by preventing cold spots where condensation issues can occur. It is not a solution for severe condensation (without ventilation).



Condensation Control - Thermal Render

- Thin tiles allow walls to be insulated with or without plaster removal and without costly alterations to skirting boards, windows, covings and radiators. The Thermal plaster can be overpainted or papered over.



Condensation Control - Thermal Paint

- Warmerwall is an anti condensation coating like emulsion paint, but containing tiny glass vacuum spheres that provide a thermal barrier between the cold wall and warm moist air.
- Warmerwall is not a solution for severe condensation, but can help with cold bridging.
- Where at all possible, the moisture source must be controlled.
- Warmerwall can be overpainted or papered over.



[Click here to access datasheet](#)

Mould Cleaning Service

- In partnership with Rentokil Specialist Hygiene, our surveyors can quote for the removal of mould by specialist technicians.



[Click here to access datasheet](#)

Part of Rentokil Initial - Our Other Businesses

Rentokil

The Experts in Pest Control



Detection, prevention & elimination of troublesome pests

Rentokil

The Experts in Property Care



Specialists in woodworm treatment and damp proofing

Rentokil

Insurance



Specialist property insurance cover to both residential and commercial properties

Rentokil

Specialist Hygiene



Wide range of specialist cleaning and disinfection services

Initial

The Experts in Hygiene



Leading provider of washroom, washroom supplies, vending and floor care services

Initial

The Experts in Healthcare Waste Management



Waste management experts disposing of clinical, dental & hazardous waste.

ambius



Experts in plant services, interior landscaping and scenting.

PETER COX

raising standards in property preservation

wise

PROPERTY CARE
BUILDING VALUE



Specialists in damp proofing, woodworm and wood rot services



Summary

- Our CSTDB and CSSW qualified local surveyors are kept up-to-date on all building and heritage regulations, and provide clear, consistent recommendations on our unique reporting tools.
- Our local qualified technicians install high-quality products and are supported by our growing team of specialist apprentices.
- Technology is fully integrated into our service offering, to provide the best customer experience possible.
- A company with a 'World Class' Health & Safety record.
- A company focussed on delivering sustainable operational solutions.



Thank You For Attending

Would you like more information on anything discussed in this presentation?



- South West Branch Manager - Mike Elphick
- michael.elphick@rentokil.com or 07795 052335



How to book a comprehensive survey

Would you like to book a survey with us?



Please contact us on south-salesadmin@petercox.com or 01895 458081



